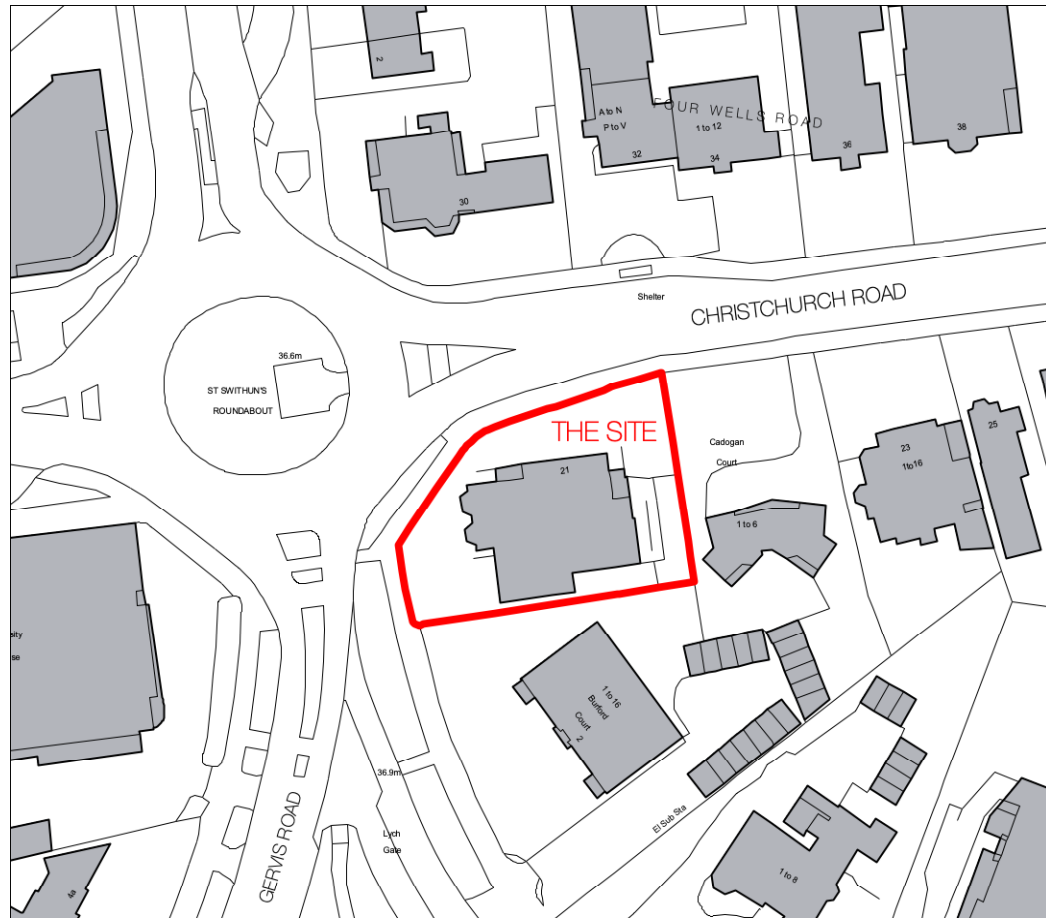
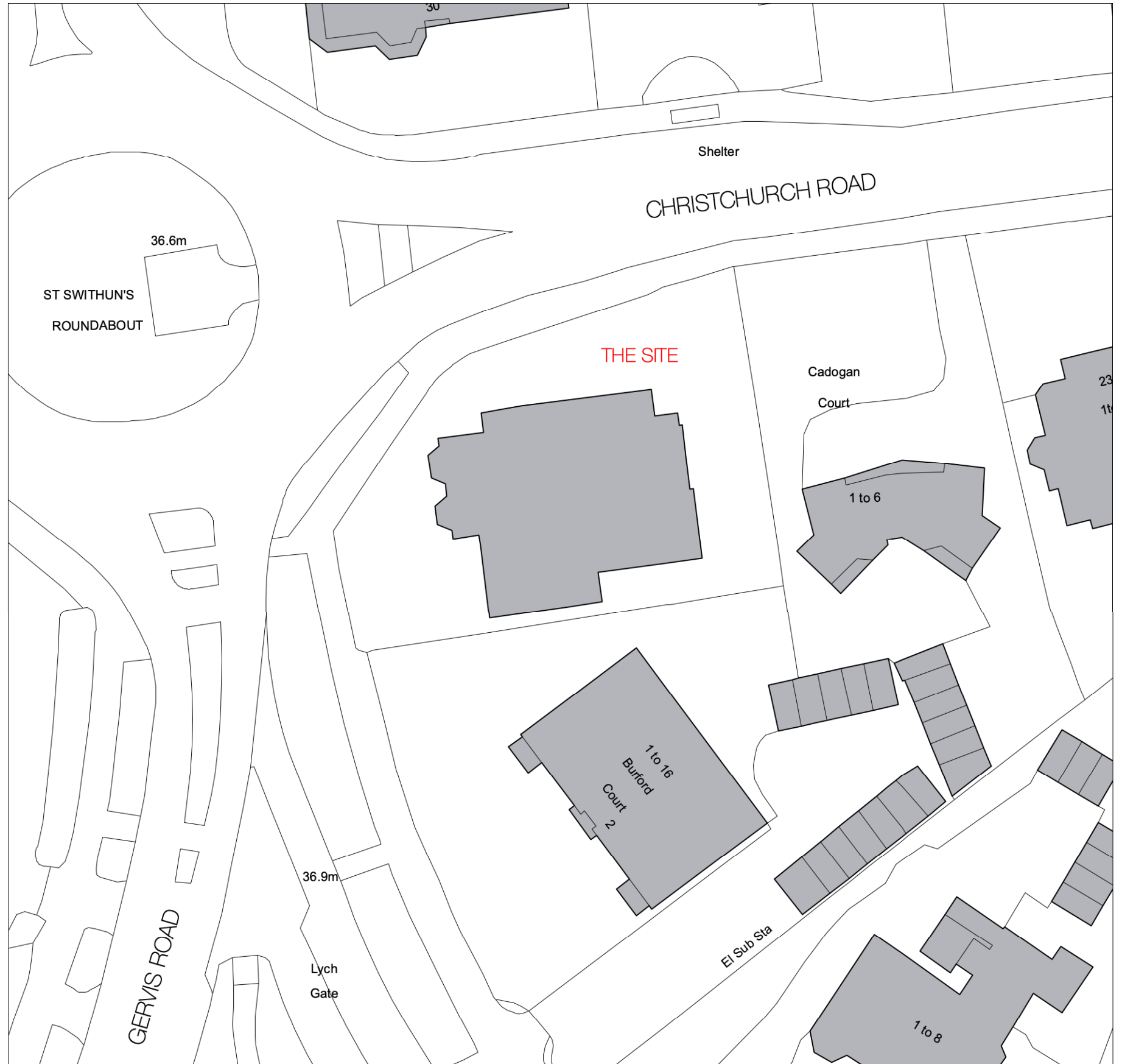
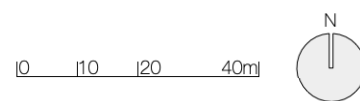


PERMITTED DEVELOPMENT APPLICATION | **21 CHRISTCHURCH ROAD, BOURNEMOUTH**

MARLOW ARCHITECTS



LOCATION PLAN
Scale 1:1250 @ A3



BLOCK PLAN
Scale 1:500 @ A3

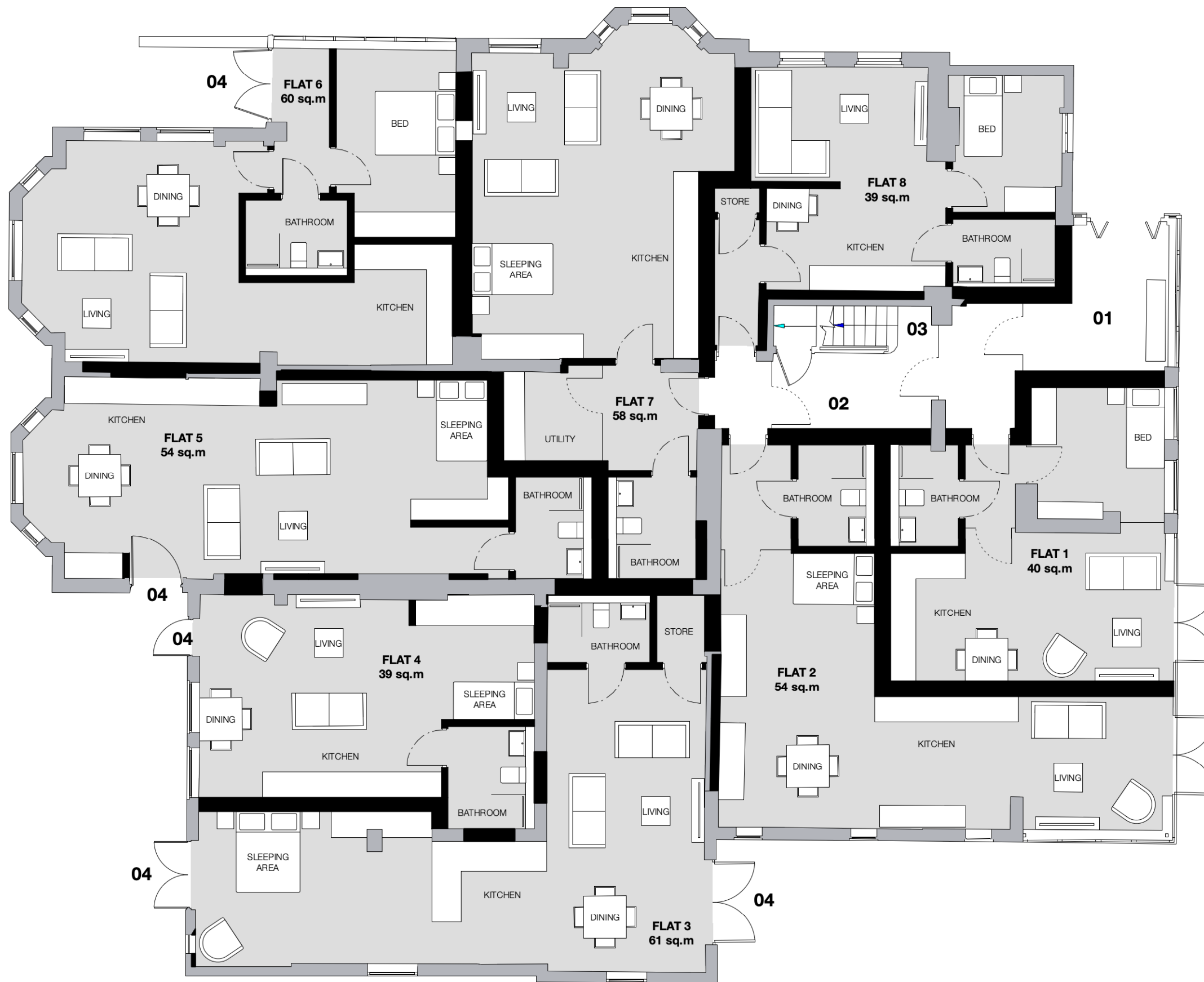


***NOTE : NO CHANGE TO THE OUTLINE OF THE EXISTING BUILDING**





BIN STORAGE : 3 x DMR / 2 x GW
BIKE STORE : 14 SPACES (14 BEDS)
PARKING : 11 SPACES
EV CHARGING POINT x 6



AREA SCHEDULE

Flat 1 :	40 sq.m
Flat 2 :	54 sq.m
Flat 3 :	61 sq.m
Flat 4 :	39 sq.m
Flat 5 :	54 sq.m
Flat 6 :	60 sq.m
Flat 7 :	58 sq.m
Flat 8 :	39 sq.m
Flat 9 :	55 sq.m
Flat 10 :	44 sq.m
Flat 11 :	46 sq.m
Flat 12 :	40 sq.m
Flat 13 :	57 sq.m
Flat 14 :	58 sq.m

**Grand Total : 705 sq.m
/ 7589 sq.ft**

- 01:** COMMUNAL MAIN ENTRANCE
- 02:** COMMUNAL LOBBY
- 03:** STAIR TO FIRST FLOOR FLATS
- 04:** UTILISE EXISTING ENTRANCE FOR GROUND FLOOR FLATS

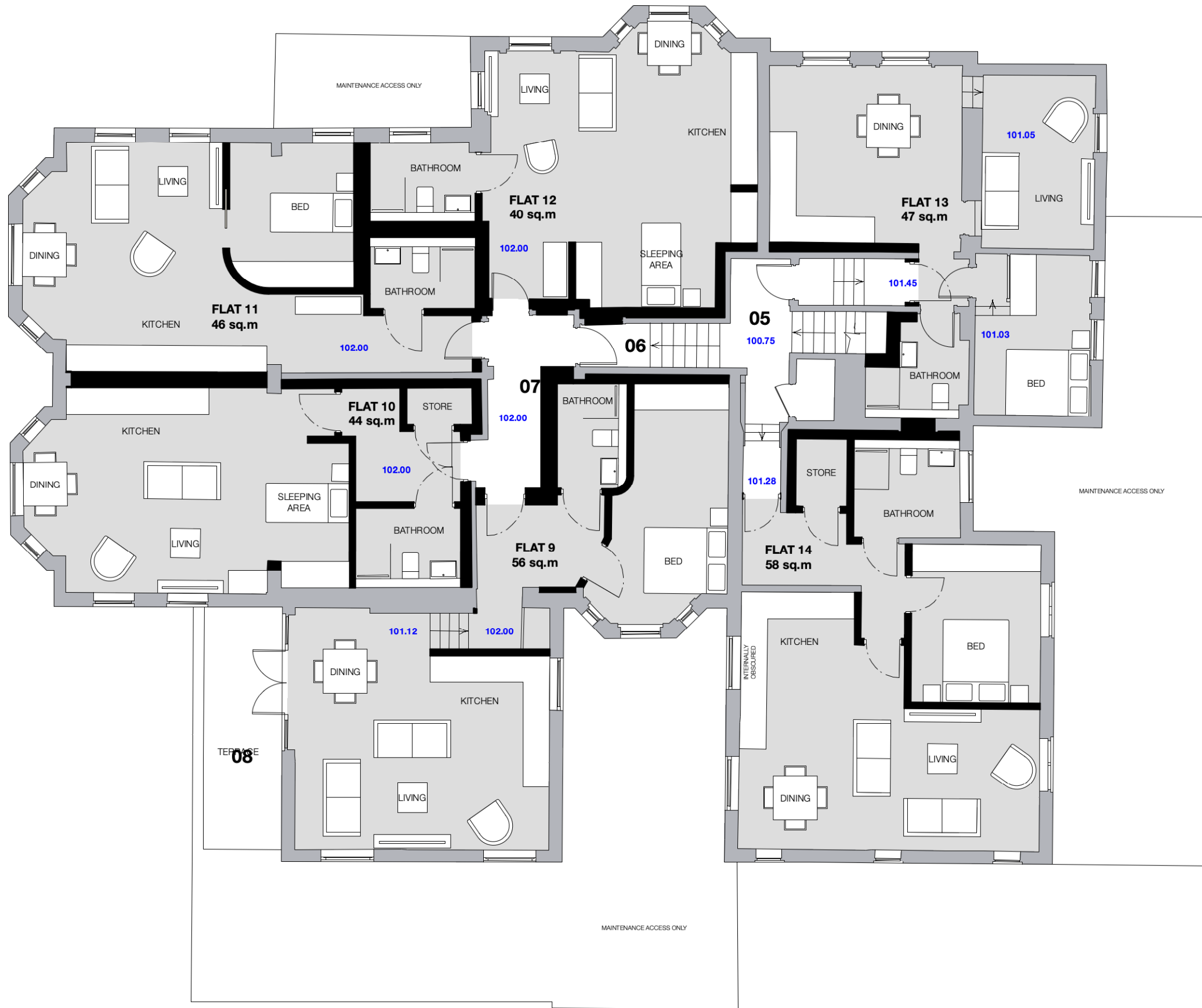
- EXISTING WALLS
- PROPOSED WALLS

0 1 2 3 4 5 10m



- EXISTING WALLS
- EXISTING WALLS
- PROPOSED WALLS

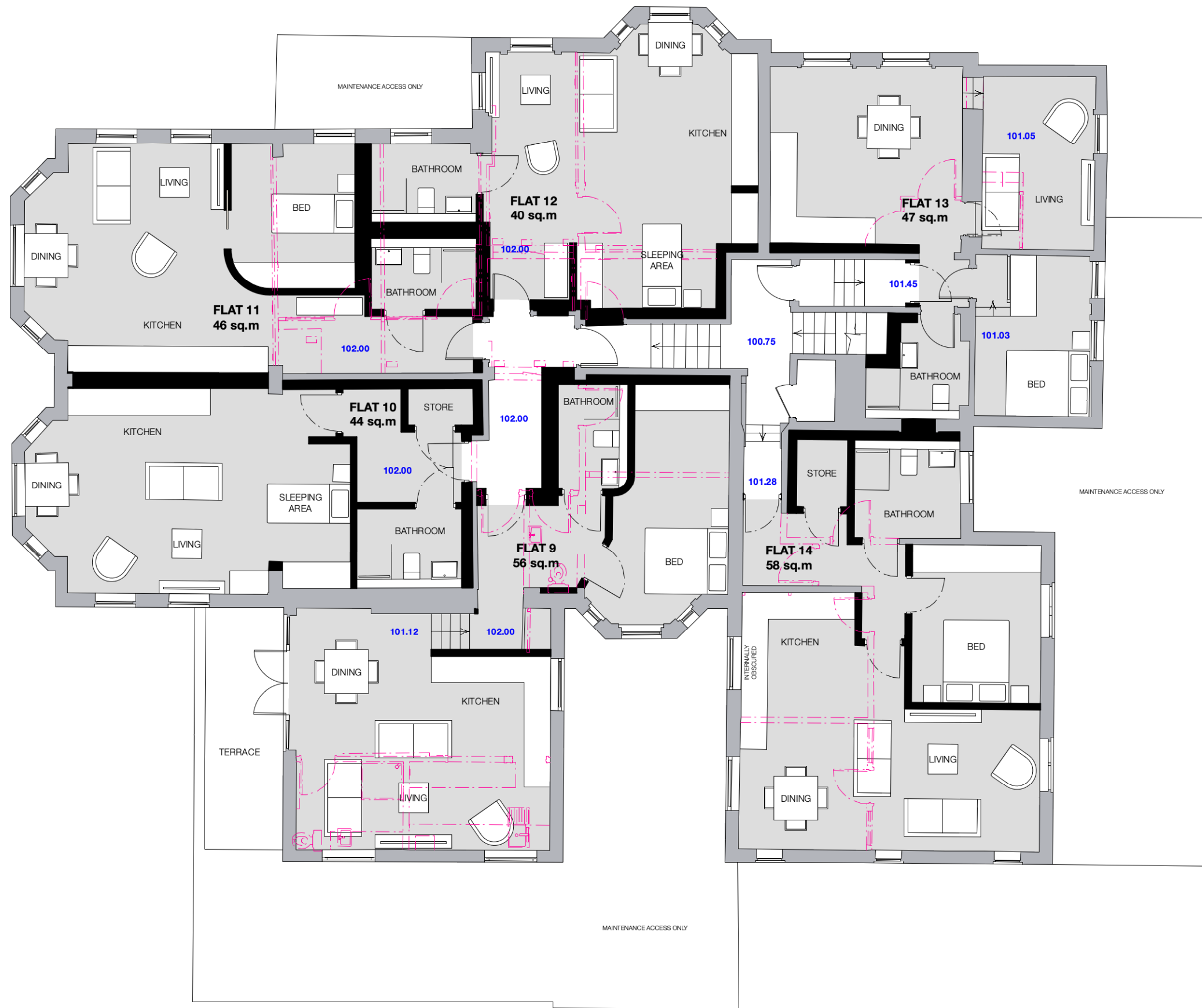
0 1 2 3 4 5 10m



- 05: STAIR FROM GROUND FLOOR
- 06: STAIR UP TO HIGHER LEVEL
- 07: COMMUNAL LOBBY
- 08: UTILISE EXISTING BALCONY FOR FIRST FLOOR FLAT

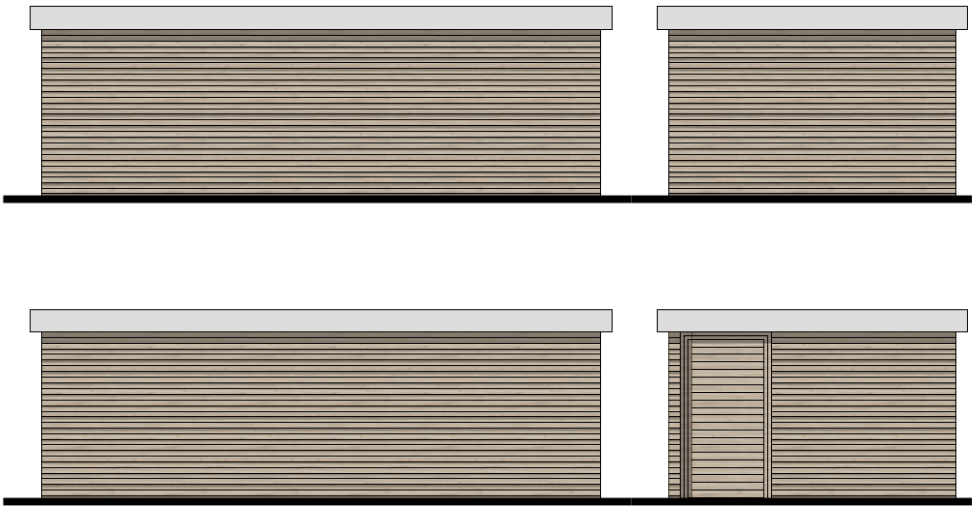
EXISTING WALLS
PROPOSED WALLS

0 1 2 3 4 5 10m





PROPOSED & EXISTING FRONT ELEVATION (NORTH)

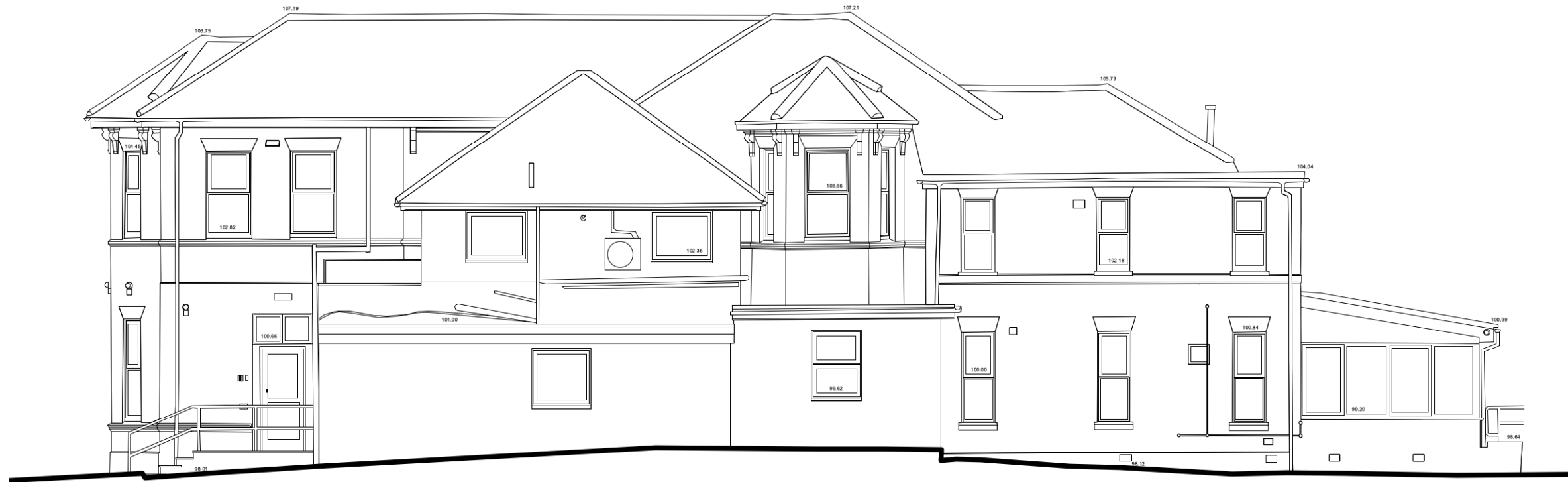


PROPOSED BIKE STORE - HIT & MISS TIMBER CLADDING

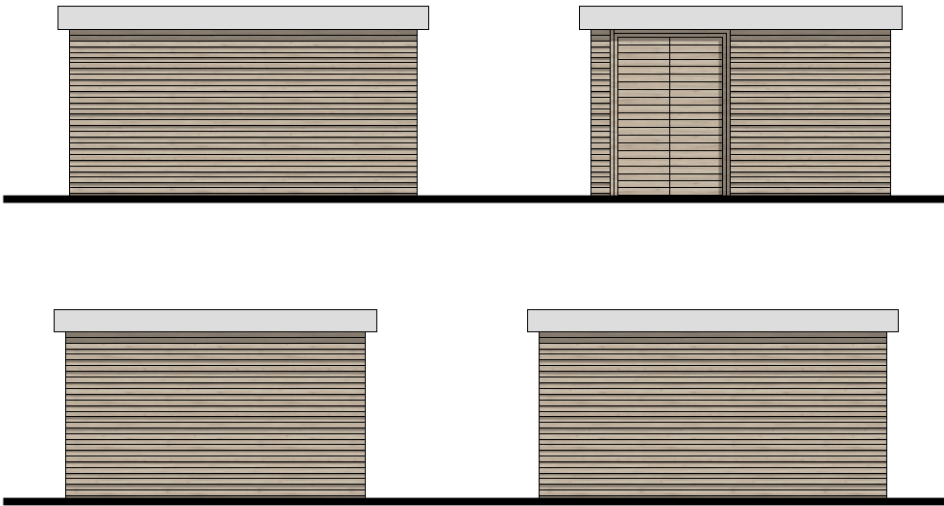


PROPOSED & EXISTING SIDE ELEVATION (WEST)

* NOTE : ALL ELEVATIONS AS EXISTING



PROPOSED & EXISTING REAR ELEVATION (SOUTH)



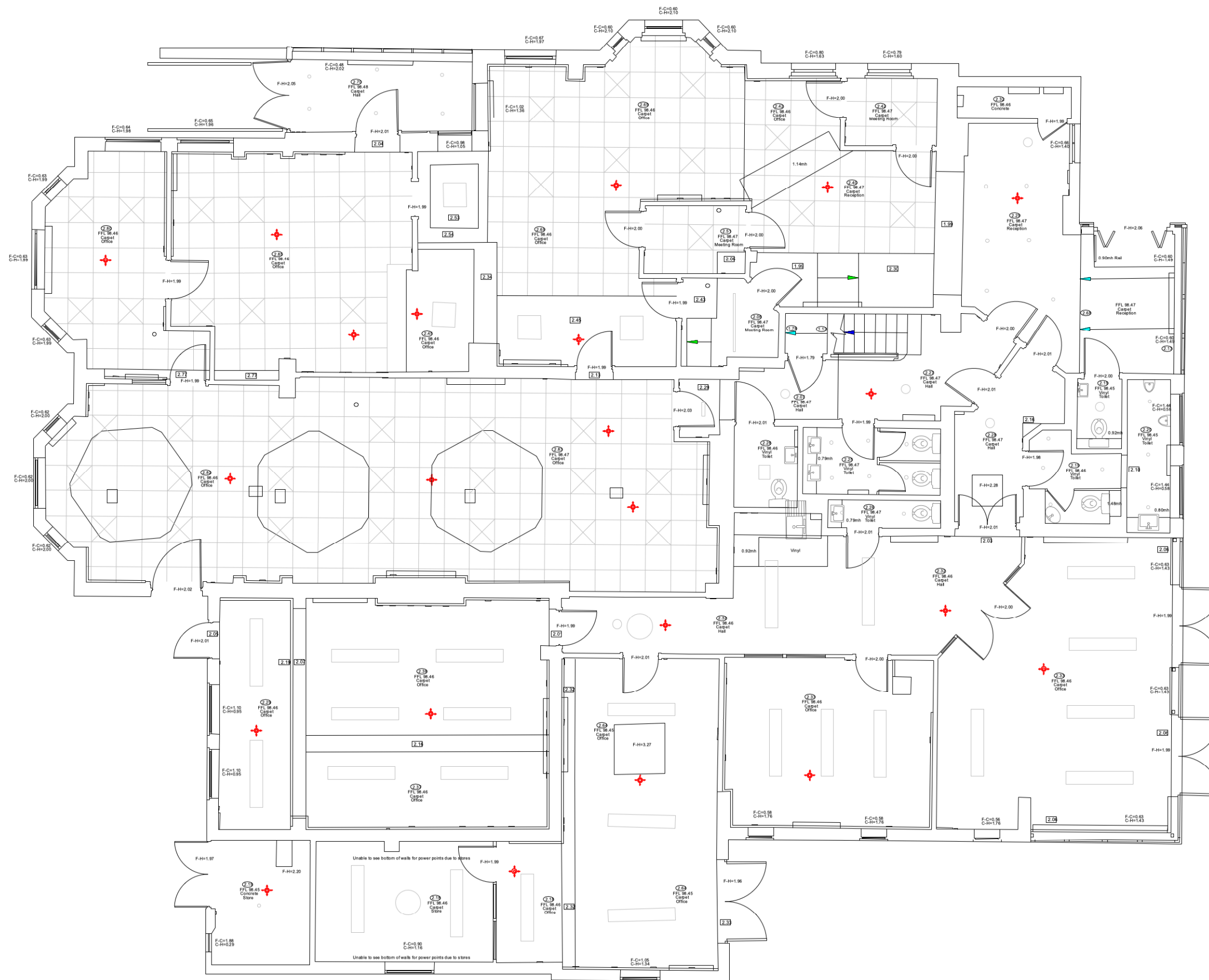
PROPOSED BINS STORE - HIT & MISS TIMBER CLADDING



PROPOSED & EXISTING SIDE ELEVATION (EAST)

* NOTE : ALL ELEVATIONS AS EXISTING

NOTE: EXISTING PLANS NOT BY MARLOW ARCHITECTS



A horizontal number line with tick marks at 0, 1, 2, 3, 4, 5, and 10m. The line is labeled with these values above the tick marks.

MARLOW ARCHITECTS

EXISTING GROUND FLOOR | SCALE 1:100 @ A3 | **2218 09** | **21 CHRISTCHURCH ROAD**

studio@marlowarchitects.co.uk | www.marlowarchitects.co.uk

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NOTE: EXISTING PLANS NOT BY MARLOW ARCHITECTS



0 1 2 3 4 5 10m